



**PLANNING AND ZONING**  
**Cerro Gordo County Courthouse**

220 N Washington Ave  
Mason City, IA 50401-3254  
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**SPECIAL EXCEPTION STAFF REPORT**

**SUMMARY OF REQUEST**

**Case No.:** 23-3

**Hearing Date:** January 31, 2023

**Staff Contact:** John Robbins, Planning and Zoning Administrator

**Applicant**

Tony Kockler  
4309 7<sup>th</sup> Avenue N  
Clear Lake, IA 50428

**Owner**

Bradley R. Elmitt  
6129 Foxboro Road  
Johnston, IA 50131

**Property Address:** not assigned

**Brief Legal Description:** Lot 13, Block 6, Dodges Point Park

**Zoning:** R-3 Single Family Residential

**Background**

The applicant proposes to construct a 38'x68' house (See Figure 1). The property on which the existing house sits on was recently split into two, 50'-wide lots, which are the original platted lots in Dodges Point Park. This particular house is proposed to be on the south lot, while the Board will consider a separate request for another new house on the north lot. This proposed house will constitute infill development—along with the proposed house on the north lot, two houses will replace the existing house on two separate lots.

SPECIAL EXCEPTION REQUEST*		
Structure	Request(s)	Requirement(s)
House	4.8' north side yard setback	6' minimum side yard setback (11.6-B)

\*See Figure 2

**FINDINGS OF FACT**

1. Bradley R. Elmitt is the owner of the subject property, located on Lot 13, Block 6, Dodges Point Park.
2. Tony Kockler is the applicant on behalf of the owners for the request.
3. The property is zoned R-3 Single Family Residential.
4. The proposed house is 4.8' from the north side lot line.
5. A minimum 6' side yard setback is required in the R-3 District.
6. The application was filed on December 27, 2022 with the Planning and Zoning Office.

## ANALYSIS

The Board of Adjustment is provided the power to grant special exception under Section 24.4(A)(2) of the Zoning Ordinance. The Board may grant special exception to bulk standards of the ordinance if, in its judgement, the standards established in Section 24.4(A)(2)(a) are met. In its review, the Board may attach certain conditions to any special exception granted in order to observe the spirit of the Zoning Ordinance and Comprehensive Plan and mitigate any potential impacts that may directly result from the requested special exception.

### **Discussion of Standards of Review**

***Strict compliance with the standards governing setback, frontage, height, or other bulk provisions of this ordinance would result in a practical difficulty upon the owner of such property and only where such exception does not exceed 50 percent of the particular limitation or number in question.***

The Elmitts recently had the property surveyed and discovered the lot is not quite square along the side lot lines, getting slightly narrower in width as it gets closer to the lake. The house on the adjacent property to the south is 3' from the shared side lot line, which has an air conditioning unit that encroaches right to the shared lot line, leaving no space between the lot line and the house (See Figure 3).

The proposed house is 4.8' from the north side lot line. A minimum 6' side yard setback is required in the R-3 District. This is no closer than 50 percent of the requirement. The standard appears to be met.

***The exception relates entirely to a permitted use (principal, special, or accessory) classified by applicable district regulations, or to a permitted sign or off-street parking or loading areas accessory to such a permitted use.***

A single family home is a principal permitted use in the R-3 District. The standard appears to be met.

***The practical difficulty is due to circumstances specific to the property and prohibits the use of the subject property in a manner reasonably similar to that of other property in the same district.***

While the lot is somewhat irregular in shape, the applicant states that the principal circumstance related to the request is due to the encroachment of the air conditioning unit servicing the adjacent house on the property to the south, which immediately abuts the shared south side lot line (See Figure 3). Additionally, the house on the same property is 3' from the shared lot line. As a result, the proposed house has a 7' south side yard setback to create appropriate separation between houses and to allow sufficient space for the construction of the proposed house. The proposed house is about average in size to houses in the neighborhood. The standard appears to be met.

***A grant of the special exception applied for, or a lesser relaxation of the restriction than applied for, is reasonably necessary due to practical difficulties related to the land in question and would do substantial justice to an applicant as well as to other property owners in the locality.***

The requested exception is due to the location of utility services and creating sufficient space for construction and separation between houses. The standard appears to be met.

***Such practical difficulties cannot be overcome by any feasible alternative means other than an exception.***

In order to be able to construct a similar sized house as others in the neighborhood, there does not appear to be any feasible alternative to be able to overcome the practical difficulty. The standard appears to be met.

***Relief can be granted in a manner that will not alter the essential character of the locality.***

The proposed house is similar to other houses in the vicinity and consistent with the character of the neighborhood. The standard appears to be met.

#### **Discussion of Potential Impacts to Immediate Area**

The property was recently split from the adjacent lot to the north into the original 50'-wide platted lots within Dodges Point Park. Both lots meet the minimum size and widths of the Zoning Ordinance. Generally, the most pressing concern is typically encroachment between buildings and impacting views to the lake on lake lots for neighbors. The proposed house is 7' from the south lot line, which will increase the separation from the neighboring property. Given the encroachment from the adjacent air conditioning unit and house to the south, the proposal actually maximizes separation between that houses on both sides and mitigates encroachments.

The proposed house is roughly even with the rear building line of the existing deck, which is over 10' or so closer to the lake than the house on the adjacent property to south and roughly even with the rear line of decks and houses to the north (See Figure 4 & 5). The proposed house has a rear yard setback of 41' and well exceeds the rear yard setback requirement of the R-3 District. While the proposed house will create a slight impediment to the full view of the lake for properties to the south, but to the north, the requested rear yard setback is roughly even with nearby rear building lines. The requested exception is unrelated to the depth of the house itself, as the applicants could request a smaller-than-average house for the neighborhood and have the same rear yard setback from the lake. As a result, the impact does not have an overly deleterious result.

#### **Staff Conclusions and Recommendation**

All standard of review have been met. The proposal seems to mitigate encroachments between houses as proposed. Staff recommends approval as requested.

## BOARD DECISION

The Board of Adjustment may consider the following alternatives:

### Alternatives

1. Grant the requested special exception subject to any condition as deemed necessary by the Board.
2. Grant relief less or different from the requested special exception.
3. Deny the requested special exception.

The following motions are provided for the Board's consideration:

### Provided motion of approval:

- I move to adopt the staff report as the Board's findings and to approve the special exception as requested by Tony Kockler on behalf of Bradley and Lori Elmitt, subject to the following conditions:
  1. All construction shall comply with the site plan submitted with the application.
  2. No construction shall begin until a Zoning Permit has been issued by the Planning and Zoning Office.

### Provided motion of denial:

- I move to adopt the staff report as the Board's findings and to deny the special exception as requested by Tony Kockler on behalf of Bradley and Lori Elmitt for the following reasons:  
[STATE REASONS FOR DENIAL]

## EXHIBITS

- Exhibit 1: Figures
- Exhibit 2: Special Exception Application
- Exhibit 3: Site plan
- Exhibit 4: Building plans
- Exhibit 5: Plat of survey
- Exhibit 6: Aerial photo of site

**Figure 1**

Looking at the proposed location for the house



January 18, 2023, J. Robbins

**Figure 2**

Looking westerly along the north side lot line



January 18, 2023, J. Robbins

**Figure 3**  
Looking westerly along the south side lot line



January 18, 2023, J. Robbins

**Figure 4**  
Looking southerly along the rear building line of the deck of the existing house



January 18, 2023, J. Robbins

**Figure 5**

Looking northerly along the rear building line of the deck of the existing house



January 18, 2023, J. Robbins

BRAD

SPECIAL EXCEPTION APPEAL

APPLICATION

Date Filed 12/27/28

Date Set for Hearing 1/31/23

Case Number: 23-3

Applicant Name: Tony Kockler Phone: 64 529 0698 E-Mail: tonyad@drac.doc.nc.us

Mailing Address: 4309 7th Ave. N.

Property Owner Name: BRAD/LOREI Elmore Phone: 515 306 7407 E-Mail: \_\_\_\_\_

Property Owner Address: 6129 Foxboro Rd; Johnston, IA 50131

Property Description (Not to be used on legal documents): Parcel # 05-22-326-06309 Township C.L.

Property Address: N.A. Zoning: R-3

Brief Legal Description: Lot 13 BUC 6 Dodges Pt.

Project Description: lot 4.8 Set BACK NEW HOUSE Decision Date: 12/27/22

Special Exception(s) Requested (As cited on results from denied Zoning Permit Application)

4.8' SOUTH SIDE SET BACK

Criteria Justifying Special Exception under Standards for Review (You may add more details in the Additional Information)

- NO CLOSURE YEA 50% 4.8' is 60 yea 50%
- PIE-SHAPED LOT, HOOSE TO SOUTH IS 3' FROM LINE
- CONDENSORS ARE ACTUALLY ON OUR LOT LINE
- I need 7' to GET my SEISSONS LIGHT BETWEEN NEW HOME & Condenson

I am the  Owner  Contract Purchaser  Other (Explain) Builder of the property affected.

I, the applicant, being duly sworn, depose and say that I am the owner, or that I am authorized and empowered to make affidavit for the owner, who makes the accompanying application; and that the information provided is true and correct and actual construction will proceed in accordance with the purposes herein stated and any conditions and/or requirements the Board of Adjustment may stipulate. The Planning & Zoning staff and Board of Adjustment members are also given permission to enter the above property in reviewing this Application.

Applicant Signature Tony Kockler Date 12-20-2022



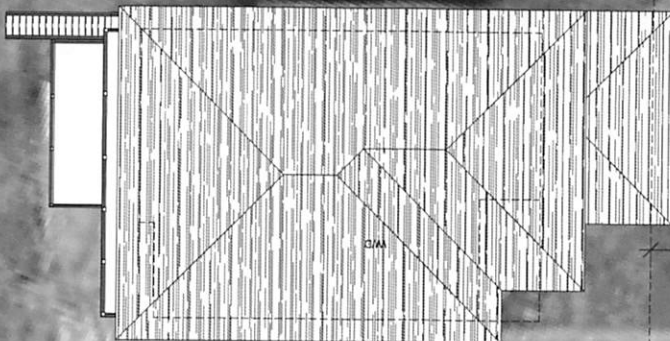
**SPECIAL EXCEPTION APPEAL**

**ADDITIONAL INFORMATION**

Please provide any additional details below needed to fully address the standards for review and any potential impacts to the immediate vicinity that may directly result from the special exception requested.

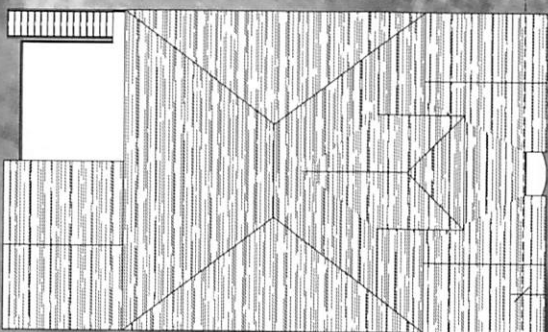
- Single Family Home - Permitted USE.
- Concurrent w/ Existing Homes
- No spacing for construction and to S. Encroachment from existing Home to S.
- No feasible alternative because of proximity of Home
- Proper spacing allows for REASONABLE Distances in AREA.

052232600800



~~0.095~~  
.62

Clear Lake



~~0.095~~  
.17

052232605500



**STRUCT ENGINEER**  
STRUCTURAL CONSULTANT  
ADDRESS  
CITY, STATE ZIP  
Ph.  
FAX

**MEP ENGINEER**  
MEP CONSULTANT  
ADDRESS  
CITY, STATE ZIP  
Ph.  
FAX

REVISIONS		
NO.	NAME	DATE



ROOF LEVEL  
20'-7 7/8"

SECOND FLOOR  
11'-7 1/8"  
SECOND FLR JST BRG  
10'-1 1/8"

MAIN FLOOR  
0"  
MAIN FLR JST BRG  
-1'-6 3/4"

TOP OF FTG.  
-5'-7 1/4"

BASEMENT  
-10'-7 1/4"

**1 EAST ELEVATION**  
**A1.0** SCALE: 3/16" = 1'-0"



ROOF LEVEL  
20'-7 7/8"

SECOND FLOOR  
11'-7 1/8"  
SECOND FLR JST BRG  
10'-1 1/8"

MAIN FLOOR  
0"  
MAIN FLR JST BRG  
-1'-6 3/4"

TOP OF FTG.  
-5'-7 1/4"

BASEMENT  
-10'-7 1/4"

**2 SOUTH ELEVATION**  
**A1.0** SCALE: 3/16" = 1'-0"



ROOF LEVEL  
20'-7 7/8"

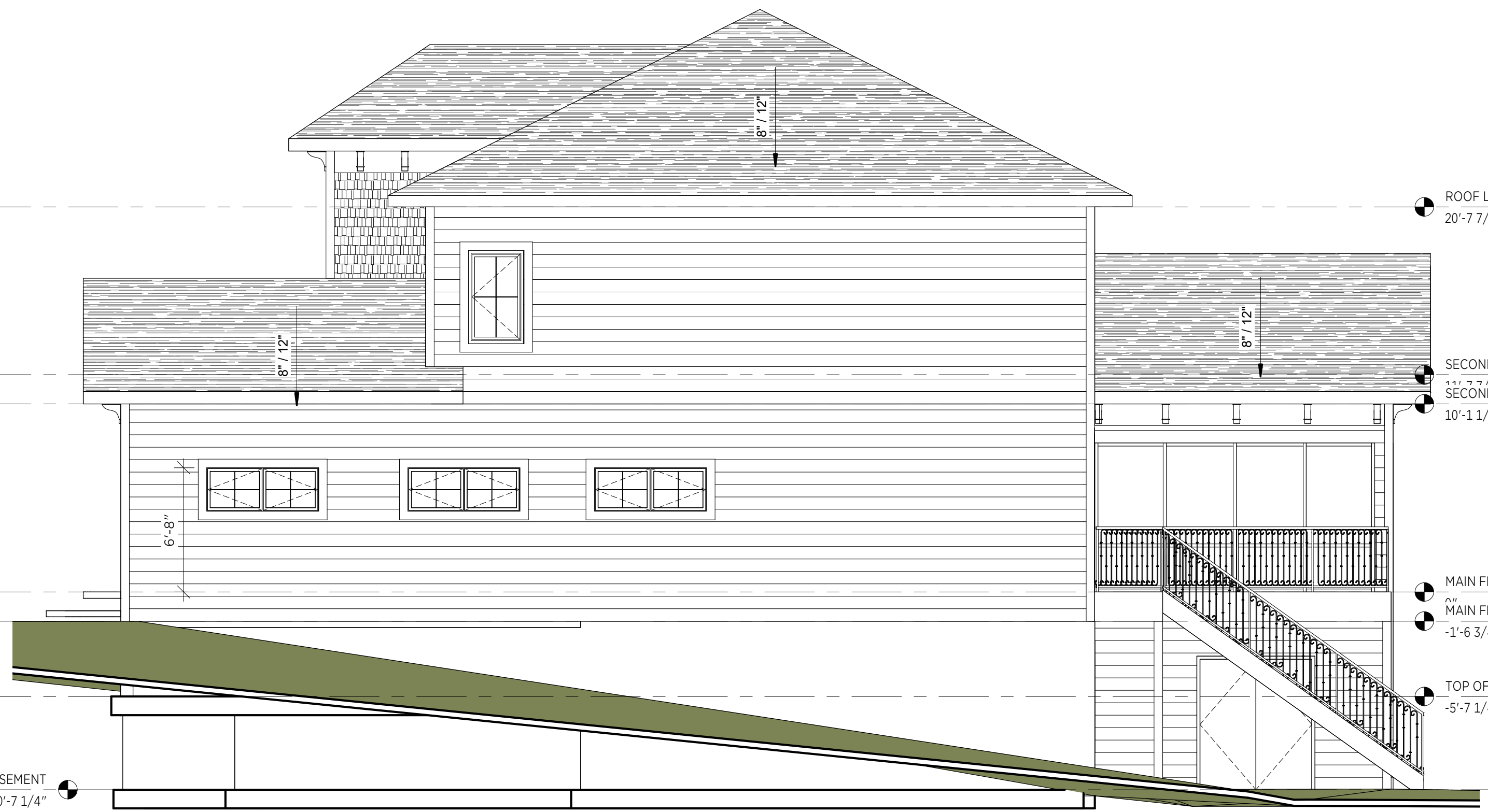
SECOND FLOOR  
11'-7 1/8"  
SECOND FLR JST BRG  
10'-1 1/8"

MAIN FLOOR  
0"  
MAIN FLR JST BRG  
-1'-6 3/4"

TOP OF FTG.  
-5'-7 1/4"

BASEMENT  
-10'-7 1/4"

**3 WEST ELEVATION**  
**A1.0** SCALE: 3/16" = 1'-0"



ROOF LEVEL  
20'-7 7/8"

SECOND FLOOR  
11'-7 1/8"  
SECOND FLR JST BRG  
10'-1 1/8"

MAIN FLOOR  
0"  
MAIN FLR JST BRG  
-1'-6 3/4"

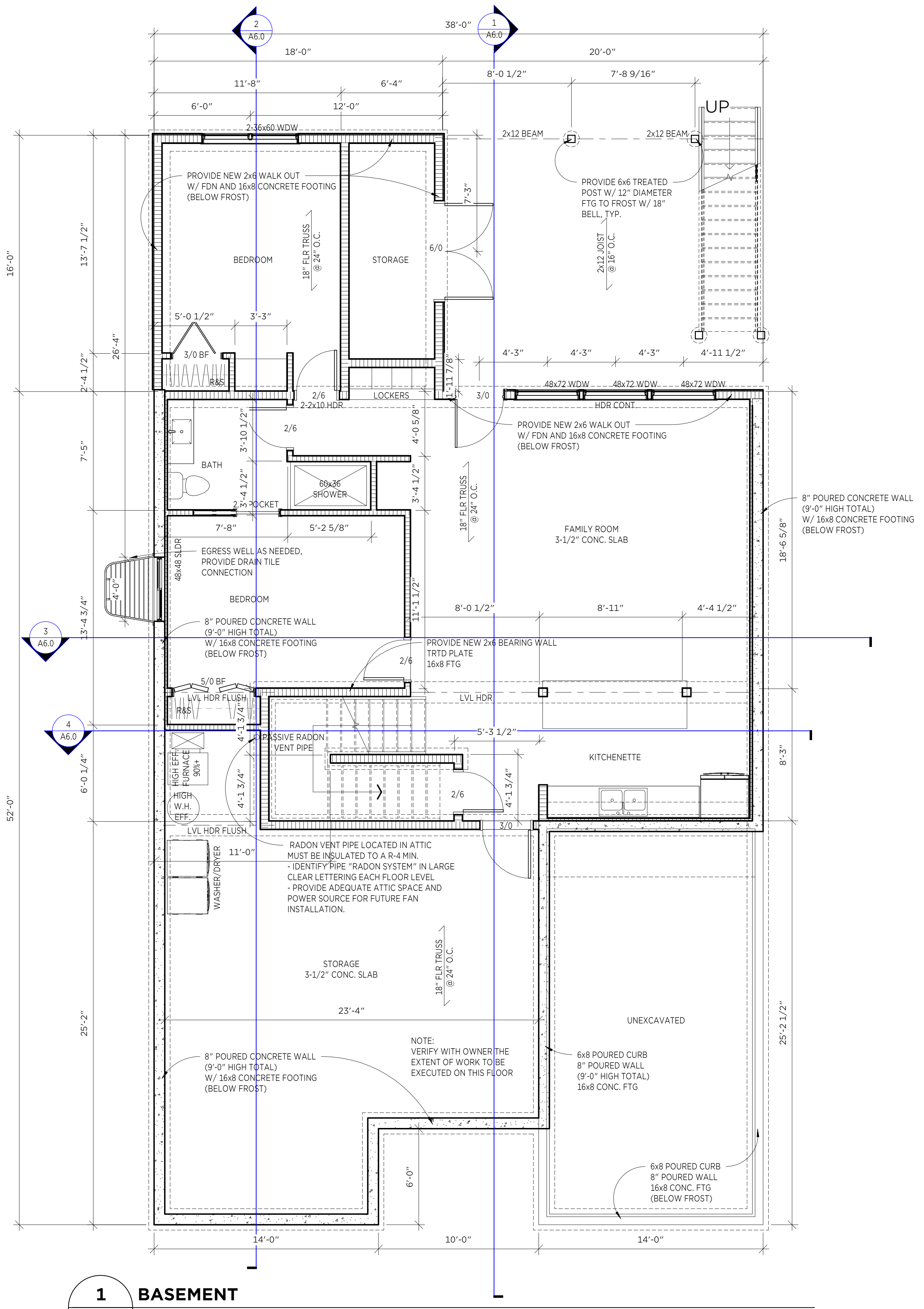
TOP OF FTG.  
-5'-7 1/4"

BASEMENT  
-10'-7 1/4"

**4 NORTH ELEVATION**  
**A1.0** SCALE: 3/16" = 1'-0"

**NEW RESIDENCE**  
**BRAD & LORIELMITT**  
1540 DODGE AVE.  
CLEAR LAKE, IA 50428  
Project # 2021-099

DATE  
JANUARY 10, 2023  
SHEET  
**A1.0**  
SATURArchitecture



**1 BASEMENT**  
**A2.0** SCALE: 1/4" = 1'-0"

NOTE: ALL INT. & EXT. BEARING OPENINGS LESS THAN 4'-0" SHALL HAVE 2-2x10 HEADERS ALL OTHER HEADERS TO BE 3-2x10 UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS. VERIFY ALL HEADER CHANGERS FROM THE LUMBER CO., TRUSS CO. AND/OR BUILDING OFFICIALS.

ALL GIRDER TRUSS LOCATIONS ARE AT THE DISCRETION OF THE TRUSS CO. AND ARE TO BE STRUCTURALLY ENGINEERED.

ALL LVL BEAMS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION.

NOTE: FIRST FLOOR TO HAVE 9'-1 1/8" RGH CLG HGT SECOND FLOOR TO HAVE 9'-1 1/8" RGH CLG HGT

NOTE: WINDOWS ARE DOUBLE HUNG CALLED OUT BY SIZE (ADJUST AS REQ'D PER MAN'F)

NOTE: PROVIDE 2" RIGID INSULATION AT ALL PERIMETER CONCRETE WALLS

NOTE: PROVIDE SILL SEALER UNDER 2x6 BEARING PLATE TYP.

NOTE: ALL FINISHES TO BE COORDINATED WITH HOMEOWNER

NOTE: CASEWORK DESIGN BY OTHERS

**MECHANICAL & ELECTRICAL NOTES**

PLACEMENT OF MECHANICAL COMPONENTS WILL BE DETERMINED BY BUILDING CODES AND MAY VARY FROM THAT SHOWN

ELECTRICAL TO BE PROVIDED TO CODE. LOCATIONS OF OUTLETS MAY VARY FROM THAT SHOWN. UPGRADES AND ADDITIONS MUST BE SPECIFIED ON PLANS

SMOKE DETECTORS TO BE INTERCONNECTED, HARDWIRED, WITH BATTERY BACK-UP. ONE PER LEVEL AND IN EACH BEDROOM

CARBON MONOXIDE ALARMS ARE REQUIRED. THEY MUST BE LOCATED OUTSIDE AND WITHIN 10'-0" OF ANY SLEEPING ROOM. BATTERY OPERATED ARE ALLOWED.



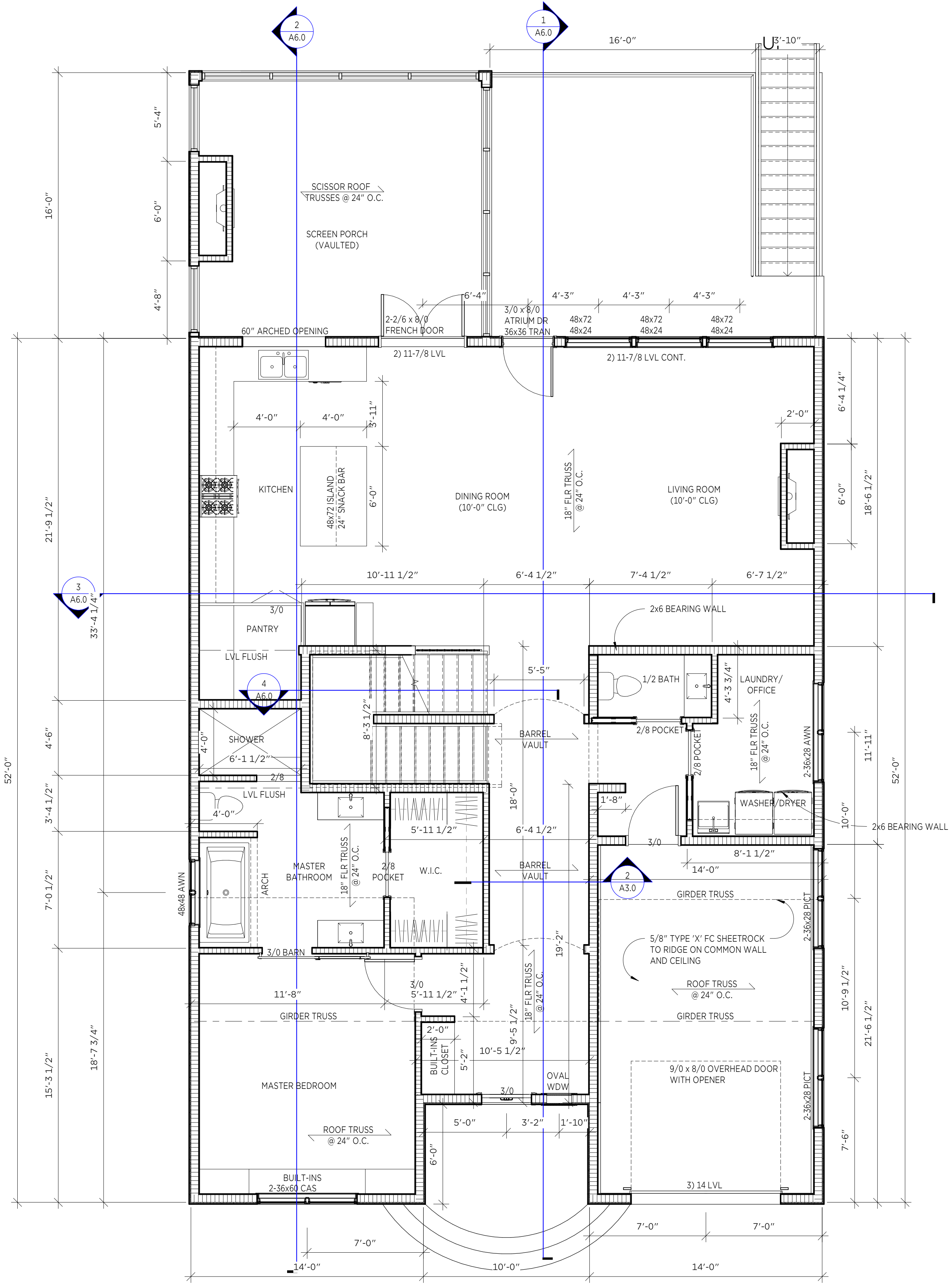
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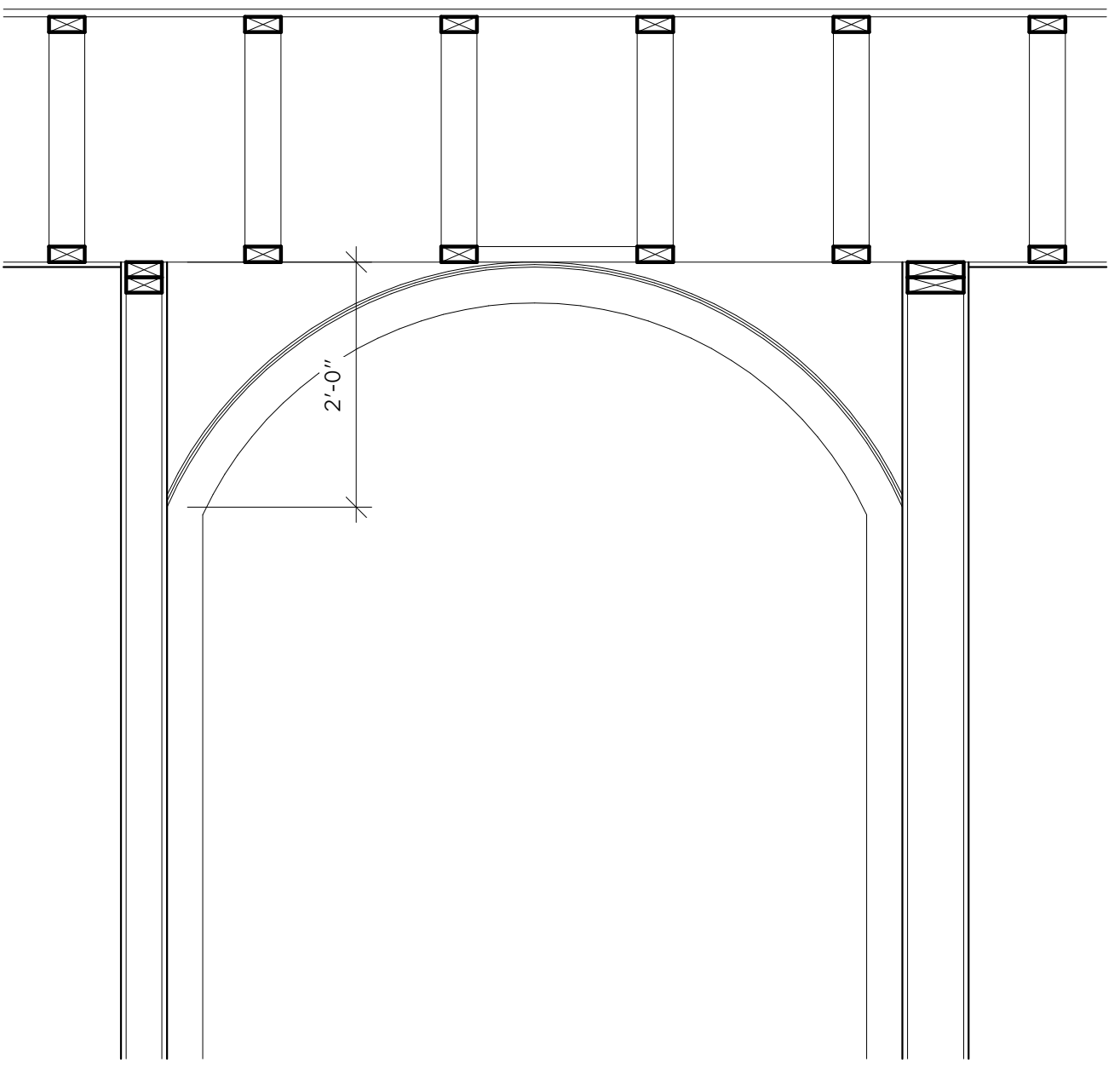
REVISIONS		
NO.	NAME	DATE

**NEW RESIDENCE  
 BRAD & LORIELMITT**  
 1540 DODGE AVE.  
 CLEAR LAKE, IA 50428  
 Project # 2021-099

DATE  
 JANUARY 10, 2023  
 SHEET  
**A2.0**  
 ©ATURAarchitecture



**1 FLOOR PLAN**  
**A3.0** SCALE: 1/4" = 1'-0"



**2 BARREL VAULT DETAIL**  
**A3.0** SCALE: 3/4" = 1'-0"

**GENERAL NOTES**

- PRIOR TO PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.
- IT IS NOT THE INTENT OF THE DRAWINGS TO SET FORTH IN DETAIL OR TO OTHERWISE DIRECT EVERY ITEM PROPERLY NECESSARY TO THE COMPLETION OF THIS PROJECT. THE CONTRACTOR MUST RECOGNIZE THAT IT IS HIS SOLE RESPONSIBILITY TO BE FULLY QUALIFIED FOR THE WORK AND THAT HE MUST WITHOUT DIRECTION, ACCOMPLISH EVERYTHING NECESSARY SO AS TO PROVIDE A GOOD AND WORKMANLIKE CONSTRUCTION COMPLETE IN EVERY NECESSARY RESPECT AND IN ACCEPTABLE CONDITIONS, READY FOR USE WITHOUT ANY ADDITIONAL WORK BEING REQUIRED OTHER THAN EXPLICITLY STATED IN THE CONTRACTOR'S PROPOSAL.
- ALL NEW MATERIAL SHALL NOT CONTAIN ASBESTOS - CONTRACTOR SHALL VERIFY W/ SUPPLIERS & SUBCONTRACTORS. PROVIDE VERIFICATION DOCUMENTATION TO ARCHITECT.
- THE CONTRACTOR SHALL USE THE DIMENSIONS AS NOTED ON THE DRAWINGS. IF A REQUIRED DIMENSION IS NOT NOTED ON THE DRAWINGS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS TO FIND A DIMENSION.
- ELEVATIONS ARE REFERENCED TO THE TOP OF THE MAIN FLOOR - ELEV. 0'-0" (ALL DRAWINGS EXCEPT SITE PLAN).
- PROPERLY PREPARE ALL SURFACES TO RECEIVE A FINISH.
- SLOPE CONCRETE PLATFORM SLABS 1/4" PER FOOT AWAY FROM THE BUILDING.
- EXPANSION JOINTS: 1/2" EXPANSION JOINT FILLER HELD 1/2" BELOW TOP OF CONCRETE SLAB, APPLY SEALANT OVER, FURNISH & INSTALL AT:
  - JUNCTION OF INTERIOR CONCRETE SLAB AND EXTERIOR WALLS
  - JUNCTION OF EXTERIOR CONCRETE SLAB AND EXTERIOR WALLS
  - OTHER AREAS AS DESIGNATED ON THE DRAWINGS OR REQUIRED TO ACCOMMODATE BUILDING MOVEMENT
  - JUNCTION OF DISSIMILAR MATERIALS.
- WEEPS SHALL BE WICK TYPE AND EXTEND FROM THE EXTERIOR FACE OF THE ROCK-FACE CMU WYTHE TO THE WALL CAVITY, THEN LAY HORIZONTAL 12" ALONG THE BOTTOM OF THE THROUGH-WALL FLASHING.
- ALL THROUGH-WALL FLASHING JOINTS SHALL BE LAPPED AND SEALED WITH SEALANT, WATERTIGHT, END DAM THE ENDS OF ALL THROUGH-WALL FLASHING.
- AT THE COMPLETION OF THE DAILY WORK, PROPERLY COVER THE TOP OF ALL MASONRY WALLS TO PREVENT MOISTURE FROM ENTERING THE WALL.
- PRIOR TO PLACEMENT OF CONCRETE SLABS, CONTRACTOR SHALL PLACE PLASTIC SHEATHING AT THE BOTTOM OF ADJACENT WALLS TO PROTECT THE WALLS FROM CONCRETE SPLATTERS.
- CONTRACTOR SHALL REMOVE AND REPAIR ALL ITEMS DAMAGED BY THE PROJECT WORK AT NO EXPENSE TO THE OWNER.
- FURNISH & INSTALL SEALANT WHERE DISSIMILAR MATERIALS MEET.
- ALL NON-LOAD BEARING MASONRY WALLS:
  - TOP OF WALLS SHALL BE 1" BELOW THE ROOF DECK & ROOF STRUCTURE
  - DO NOT ATTACH THE WALLS TO THE ROOF DECK OR ROOF STRUCTURE
- R502.2.1 POST BEAM CONNECTION WHERE POST AND BEAM OR GIRDER CONSTRUCTION IS USED, THE DESIGN SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE. POSITIVE CONNECTION SHALL BE PROVIDED TO ENSURE AGAINST UPLIFT AND LATERAL DISPLACEMENT.
- IF FOUNDATION WALLS ARE PARALLEL TO FLOOR FRAMING, SOLID BLOCKING OR DIAGONAL BRACING MUST BE INSTALLED AT THE ANCHOR BOLT LOCATIONS IN THE FIRST TWO JOIST OR TRUSS SPACES.
- NEED COMPLETE WEATHER PROTECTION BEFORE INSULATION
- 3-1/2" MIN. HOUSE NUMBERS APPLIED BEFORE FINAL INSPECTION
- HOUSE WRAP REQUIRED ON ALL STRUCTURES. PICTURES OF HOUSE WRAP INSTALLATION AND INSPECTION RECORD CARD MUST BE SUBMITTED TO THIS OFFICE PRIOR TO FINAL INSPECTION.
- DO NOT APPLY SIDING OR HOUSE WRAP UNTIL AFTER SHEATHING INSPECTION
- EAVE FLASHING/ICE DAM PROTECTION REQUIRED ON DWELLING PLUS ATTACHED EAVE FLASHING INSPECTION REQUIRED.
- ALL HABITABLE SPACES REQUIRE 8% LIGHT AND 4% VENTILATION
- MUST PROVIDE EGRESS WINDOW OF 5.7 SQUARE FEET ON THIS LEVEL. MAXIMUM SILL HEIGHT 44 INCHES.
- 6'-8" MINIMUM STAIR HEADROOM. 34" TO 38" HANDRAIL HEIGHT. RETURN ALL ENDS TO POST OR WALL.
- R303.4 STAIRWAY ILLUMINATION ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIRS, INCLUDING THE LANDINGS AND TREADS.
- R314.8 UNDER STAIR PROTECTION ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD.
- INSTALL INTERIOR SHEATHING ON ALL EXTERIOR WALLS BEFORE INSTALLING TUBS OR SHOWERS
- MUST PROVIDE NO-SCALD DEVICE AT TUB/SHOWER
- WATERPROOF BACKING 6' OVER TUB. PROVIDE PLUMBING ACCESS PANEL.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE WINDOW WITH A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR AND SHALL PROVIDE NOT LESS THAN 5.7 SQUARE FEET OF OPENABLE AREA WITH NO DIMENSION LESS THAN 20"W-24"H
- GUARD RAIL REQUIRED AT FUTURE DECK PATIO DOOR. FUTURE DECK RIMS INSTALL 2 LAG BOLTS 16" o.c. WITH FLASHING
- ALL FINISHES TO BE SELECTED BY OWNER

NOTE: ALL INT. & EXT. BEARING OPENINGS LESS THEN 4'-0" SHALL HAVE 2-2x10 HEADERS ALL OTHER HEADERS TO BE 3-2x10 UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS. VERIFY ALL HEADER CHANGERS FROM THE LUMBER CO., TRUSS CO. AND/OR BUILDING OFFICIALS.

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NOTE: FIRST FLOOR TO HAVE 9'-1 1/8" RGH CLG HGT SEE SECTION FOR GREAT ROOM CLG HGT  
 SECOND FLOOR TO HAVE 9'-1 1/8" RGH CLG HGT

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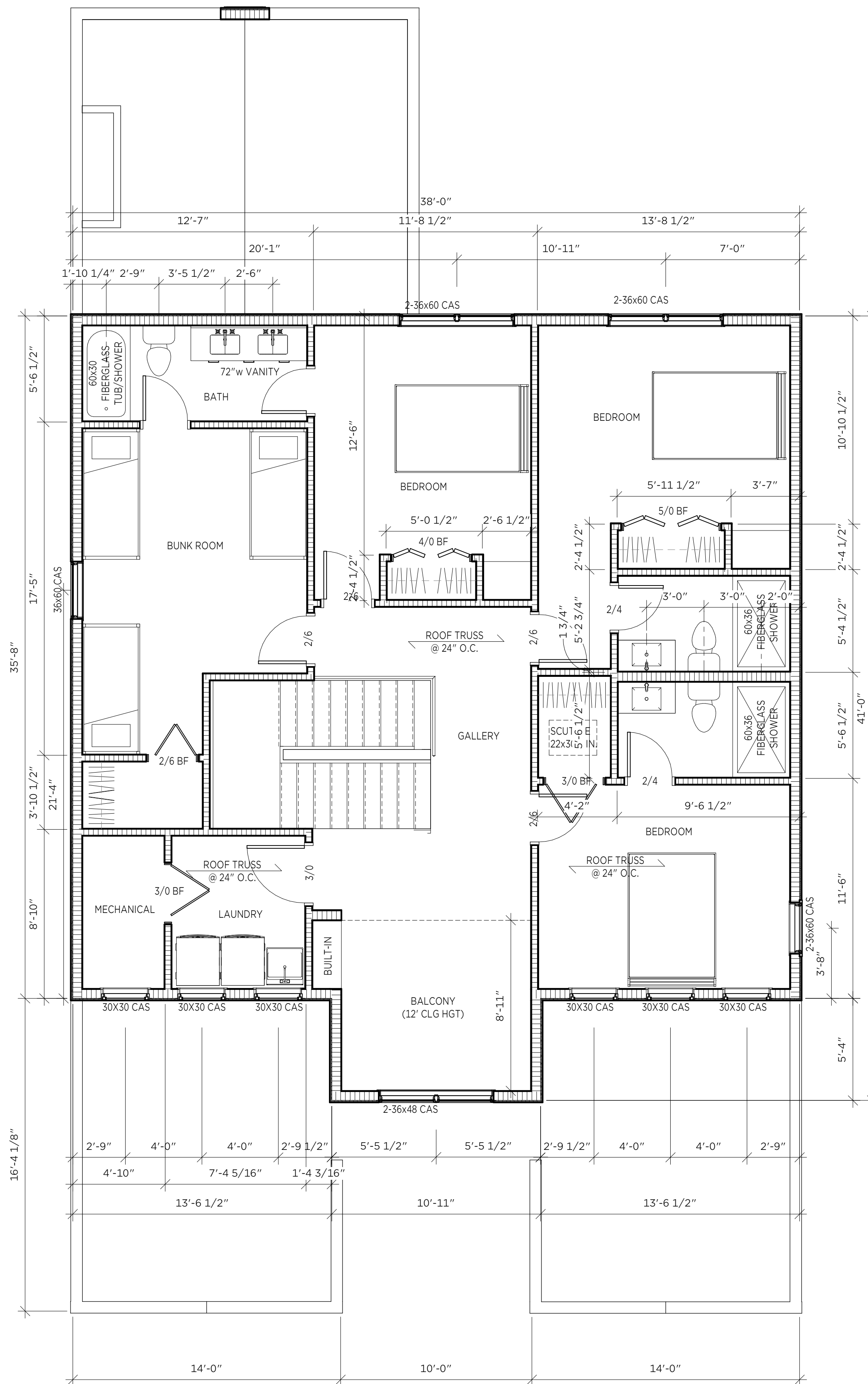
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**MEP ENGINEER**  
 MEP CONSULTANT  
 ADDRESS  
 CITY, STATE ZIP  
 Ph.  
 FAX

**REVISIONS**

NO.	NAME	DATE



**1 SECOND FLOOR**  
**A4.0** SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

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- EXPANSION JOINTS: 1/2" EXPANSION JOINT FILLER HELD 1/2" BELOW TOP OF CONCRETE SLAB, APPLY SEALANT OVER, FURNISH & INSTALL AT:
  - JUNCTION OF INTERIOR CONCRETE SLAB AND EXTERIOR WALLS
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  - DO NOT ATTACH THE WALLS TO THE ROOF DECK OR ROOF STRUCTURE
- R502.2.1 POST BEAM CONNECTION WHERE POST AND BEAM OR GIRDER CONSTRUCTION IS USED, THE DESIGN SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE. POSITIVE CONNECTION SHALL BE PROVIDED TO ENSURE AGAINST UPLIFT AND LATERAL DISPLACEMENT.
- IF FOUNDATION WALLS ARE PARALLEL TO FLOOR FRAMING, SOLID BLOCKING OR DIAGONAL BRACING MUST BE INSTALLED AT THE ANCHOR BOLT LOCATIONS IN THE FIRST TWO JOIST OR TRUSS SPACES
- NEED COMPLETE WEATHER PROTECTION BEFORE INSULATION
- 3-1/2" MIN. HOUSE NUMBERS APPLIED BEFORE FINAL INSPECTION
- HOUSE WRAP REQUIRED ON ALL STRUCTURES. PICTURES OF HOUSE WRAP INSTALLATION AND INSPECTION RECORD CARD MUST BE SUBMITTED TO THIS OFFICE PRIOR TO FINAL INSPECTION.
- DO NOT APPLY SIDING OR HOUSE WRAP UNTIL AFTER SHEATHING INSPECTION
- EAVE FLASHING/ICE DAM PROTECTION REQUIRED ON DWELLING PLUS ATTACHED EAVE FLASHING INSPECTION REQUIRED.
- ALL HABITABLE SPACES REQUIRE 8% LIGHT AND 4% VENTILATION
- MUST PROVIDE EGRESS WINDOW OF 5.7 SQUARE FEET ON THIS LEVEL. MAXIMUM SILL HEIGHT 44 INCHES.
- 6'-8" MINIMUM STAIR HEADROOM. 34" TO 38" HANDRAIL HEIGHT. RETURN ALL ENDS TO POST OR WALL.
- R303.4 STAIRWAY ILLUMINATION ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIRS, INCLUDING THE LANDINGS AND TREADS.
- R314.8 UNDER STAIR PROTECTION ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD.
- INSTALL INTERIOR SHEATHING ON ALL EXTERIOR WALLS BEFORE INSTALLING TUBS OR SHOWERS
- MUST PROVIDE NO-SCALD DEVICE AT TUB/SHOWER
- WATERPROOF BACKING 6" OVER TUB. PROVIDE PLUMBING ACCESS PANEL.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE WINDOW WITH A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR AND SHALL PROVIDE NOT LESS THAN 5.7 SQUARE FEET OF OPENABLE AREA WITH NO DIMENSION LESS THAN 20"W-24"H
- GUARD RAIL REQUIRED AT FUTURE DECK PATIO DOOR. FUTURE DECK RIMS INSTALL 2 LAG BOLTS 16" o.c. WITH FLASHING
- ALL FINISHES TO BE SELECTED BY OWNER

NOTE: ALL INT. & EXT. BEARING OPENINGS LESS THEN 4'-0" SHALL HAVE 2-2x10 HEADERS ALL OTHER HEADERS TO BE 3-2x10 UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS. VERIFY ALL HEADER CHANGERS FROM THE LUMBER CO., TRUSS CO. AND/OR BUILDING OFFICIALS.

ALL GIRDER TRUSS LOCATIONS ARE AT THE DISCRETION OF THE TRUSS CO. AND ARE TO BE STRUCTURALLY ENGINEERED.

ALL LVL BEAMS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION.

NOTE: FIRST FLOOR TO HAVE 9'-1 1/8" RGH CLG HGT  
 SEE SECTION FOR GREAT ROOM CLG HGT  
 SECOND FLOOR TO HAVE 9'-1 1/8" RGH CLG HGT

NOTE: WINDOWS ARE SINGLE-HUNG UNITS CALLED OUT BY SIZE (ADJUST AS REQ'D PER MAN'F)

NOTE: ALL FINISHES SELECTIONS BY HOMEOWNER

NOTE: CASEWORK DESIGN BY OTHERS

**MECHANICAL & ELECTRICAL NOTES**

PLACEMENT OF MECHANICAL COMPONENTS WILL BE DETERMINED BY BUILDING CODES AND MAY VARY FROM THAT SHOWN

ELECTRICAL TO BE PROVIDED TO CODE. LOCATIONS OF OUTLETS MAY VARY FROM THAT SHOWN. UPGRADES AND ADDITIONS MUST BE SPECIFIED ON PLANS



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**REVISIONS**

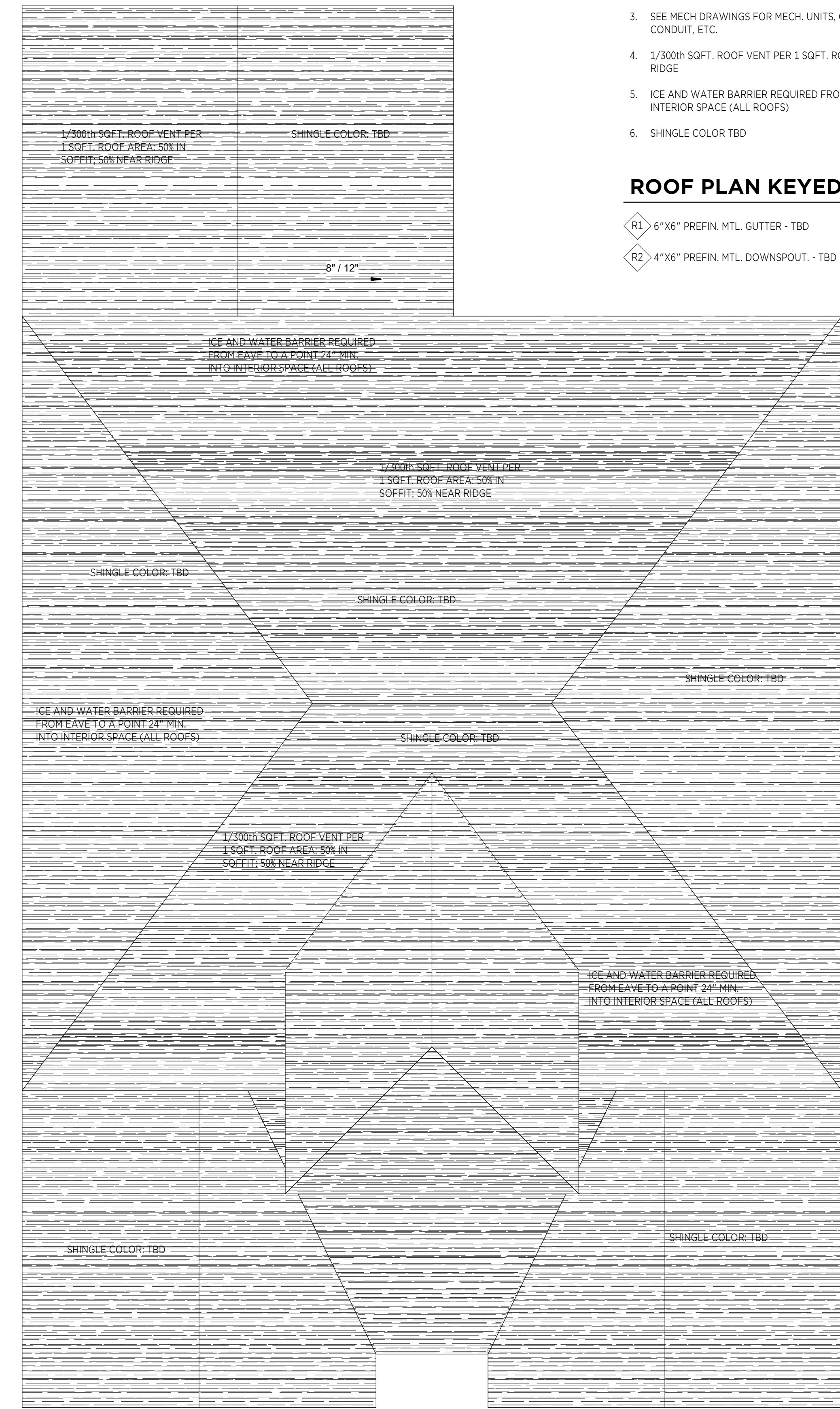
NO.	NAME	DATE

**DATE**

JANUARY 10, 2023

**SHEET**

**A4.0**



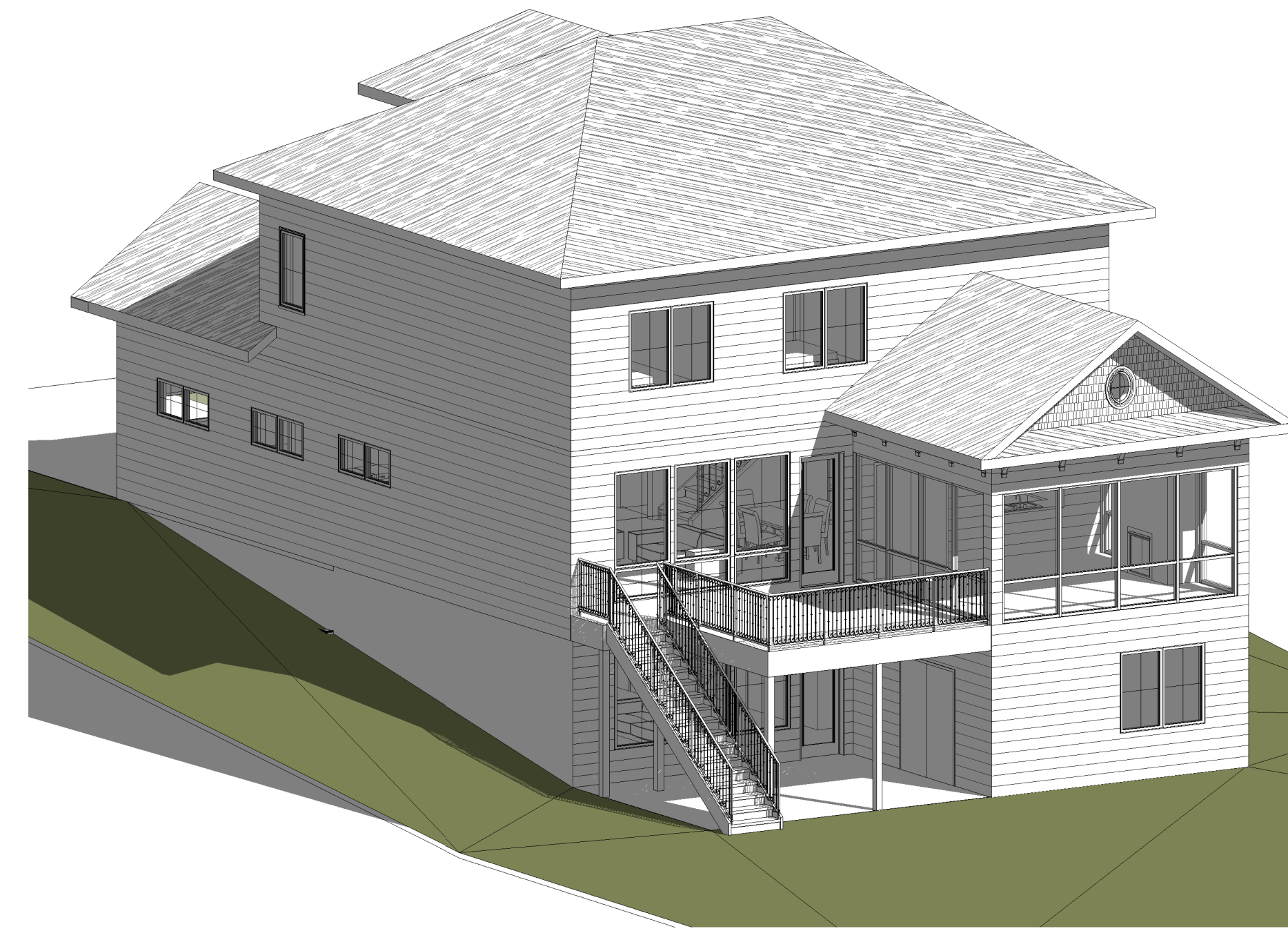
### ROOF PLAN GENERAL NOTES

1. REFERENCE ROOF KEY PLAN FOR ROOFING, INSUL., AND RELATED WORK.
2. ARROWS INDICATE THE DIRECTION OF DOWNWARD SLOPE.
3. SEE MECH DRAWINGS FOR MECH. UNITS, OPENINGS, PENETRATIONS, CURBS, CONDUIT, ETC.
4. 1/300th SQFT. ROOF VENT PER 1 SQFT. ROOF AREA: 50% IN SOFFIT: 50% NEAR RIDGE
5. ICE AND WATER BARRIER REQUIRED FROM EAVE TO A POINT 24" MIN. INTO INTERIOR SPACE (ALL ROOFS)
6. SHINGLE COLOR TBD

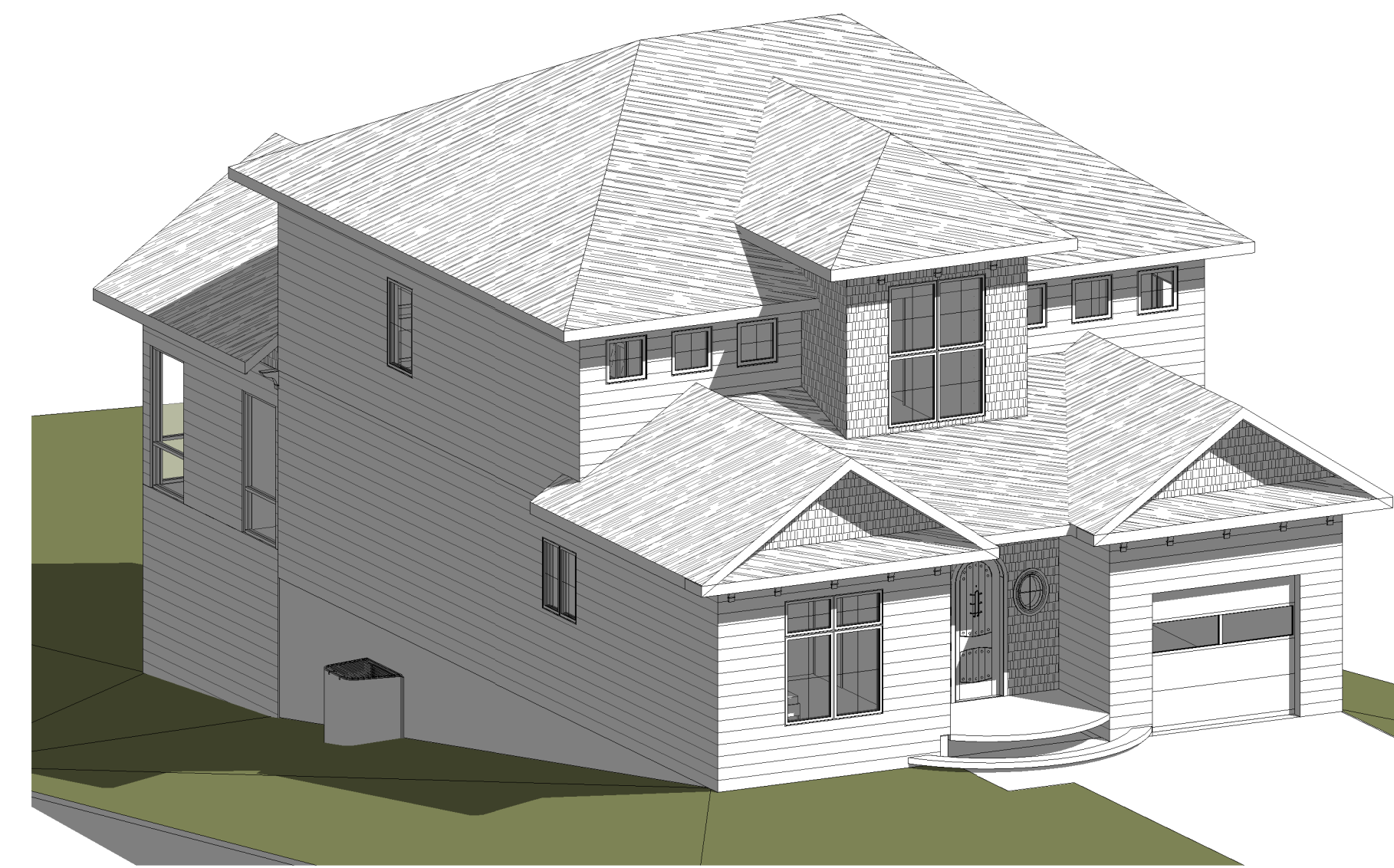
### ROOF PLAN KEYED NOTES

- R1 6"X6" PREFIN. MTL. GUTTER - TBD
- R2 4"X6" PREFIN. MTL. DOWNSPOUT - TBD

**1** **ROOF PLAN**  
**A5.0** SCALE: 1/4" = 1'-0"



**2** **ISOMETRIC**  
**A5.0** SCALE:



**3** **ISOMETRIC 2**  
**A5.0** SCALE:

REVISIONS		
NO.	NAME	DATE



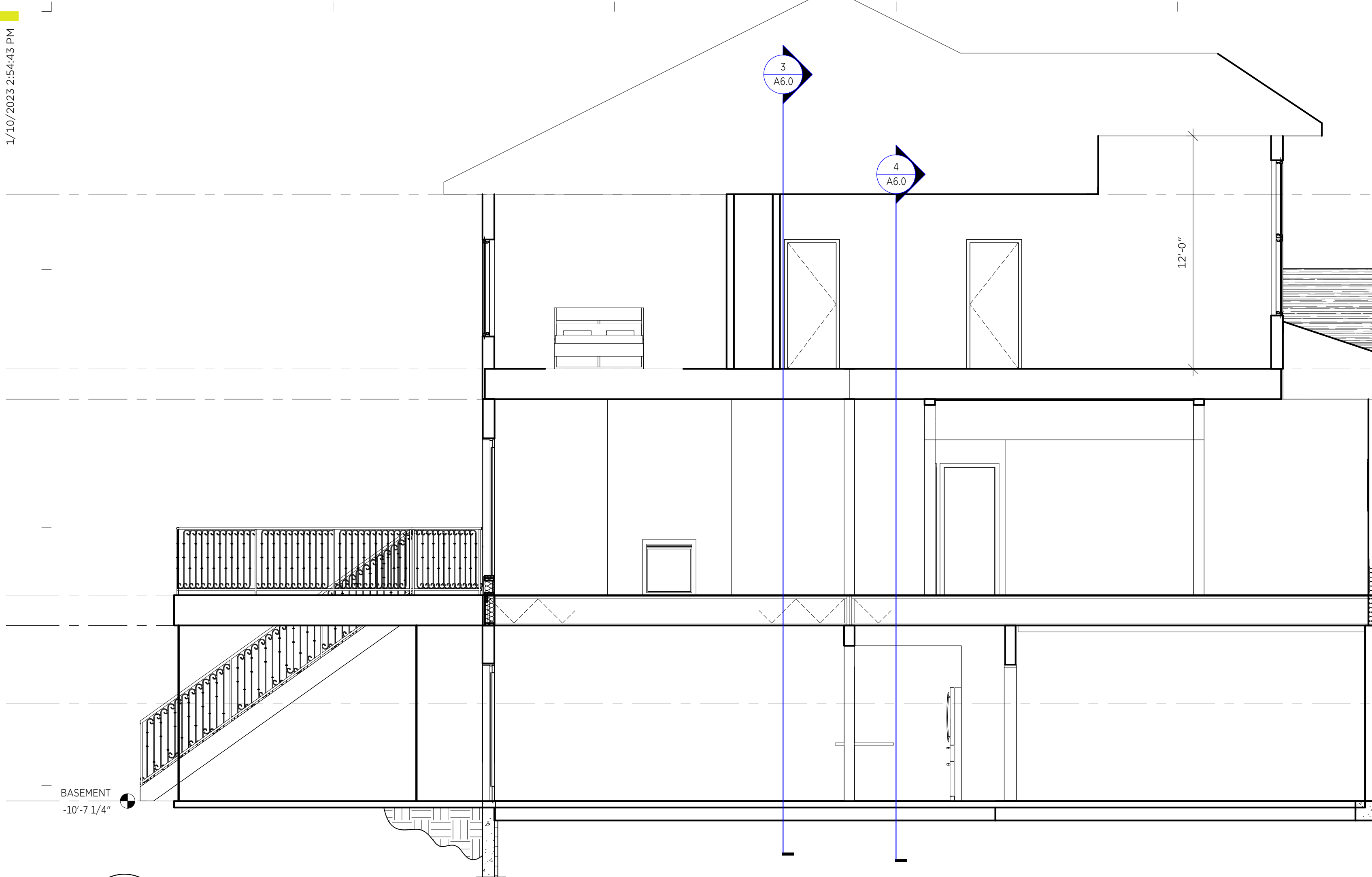
**STRUCT ENGINEER**  
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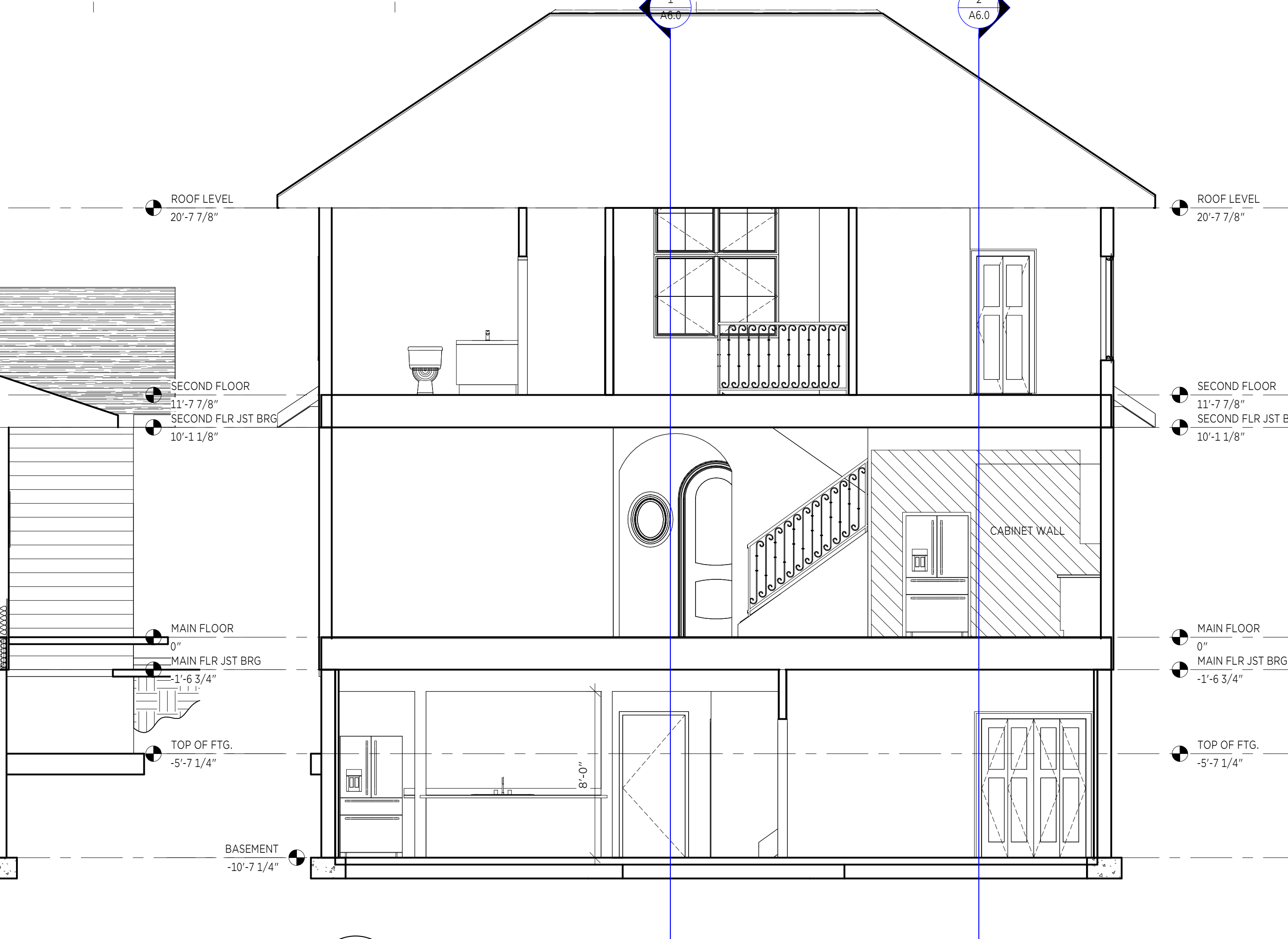
REVISIONS		
NO.	NAME	DATE

**NEW RESIDENCE  
 BRAD & LORIELMITT**  
 15440 DODGE AVE.  
 CLEAR LAKE, IA 50428  
 Project # 2021-099

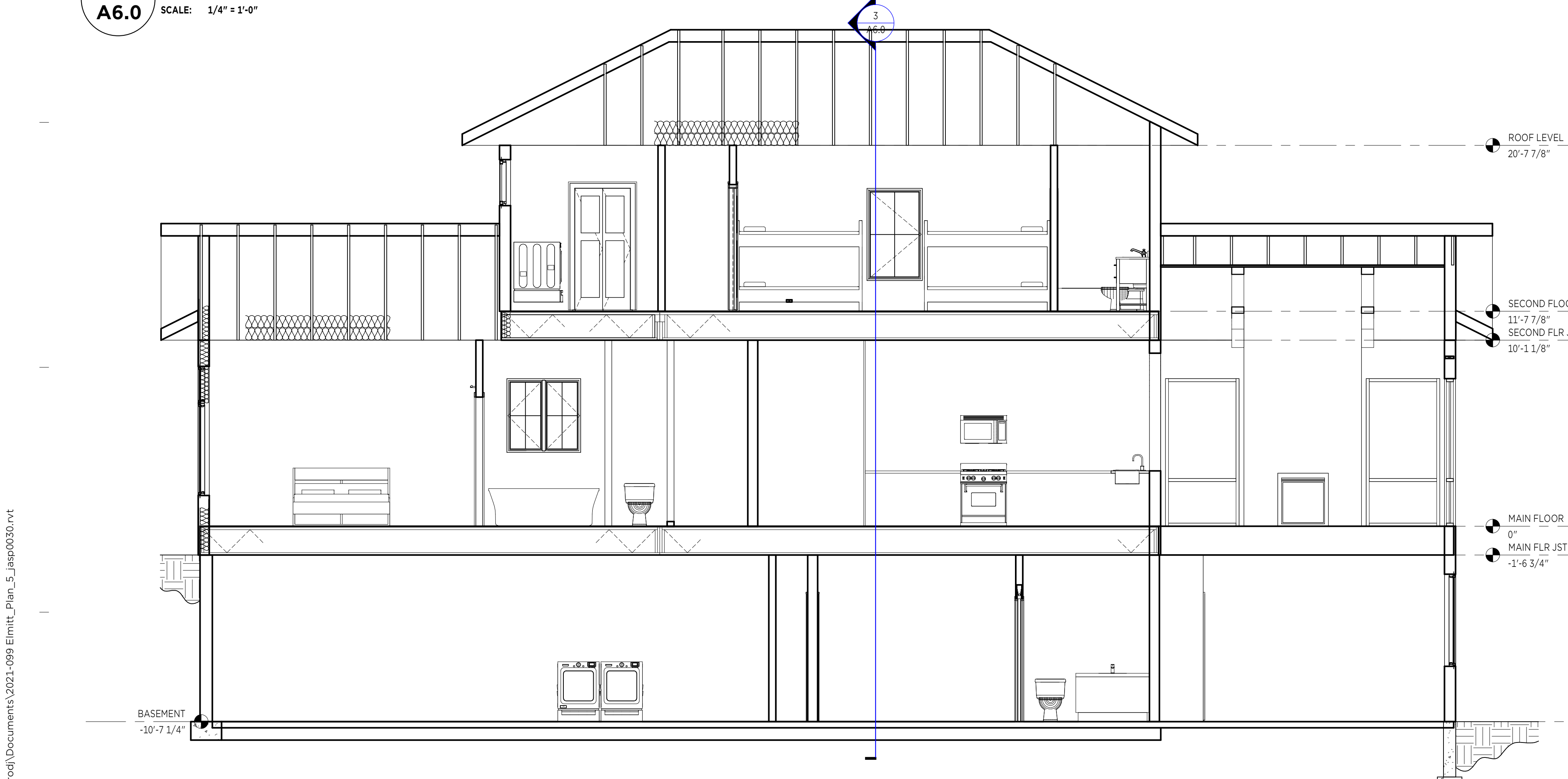
DATE  
 JANUARY 10, 2023  
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**A6.0**  
 SATURArchitecture



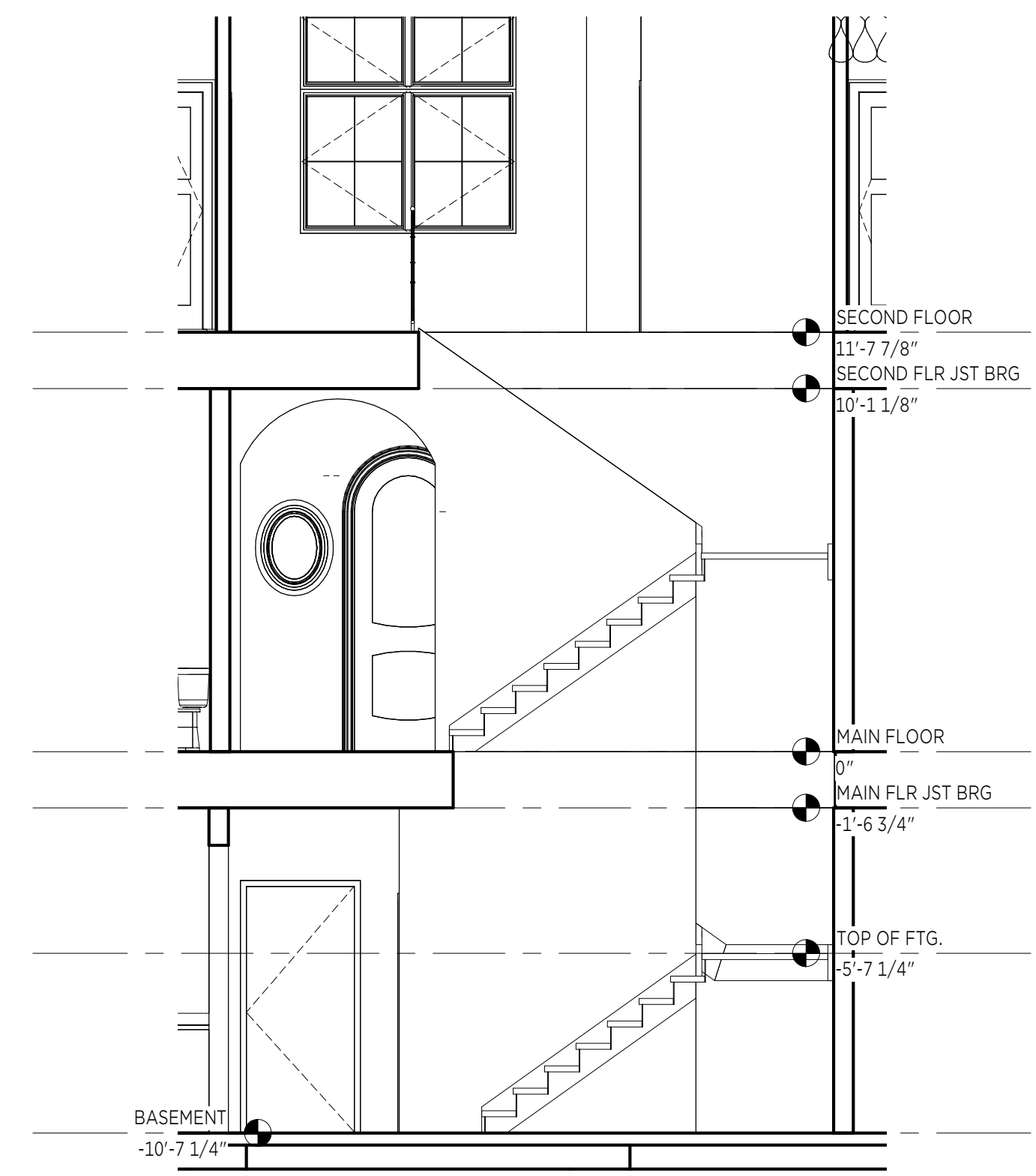
**1 BUILDING SECTION 2**  
**A6.0** SCALE: 1/4" = 1'-0"



**3 Section 5**  
**A6.0** SCALE: 1/4" = 1'-0"



**2 Section 4**  
**A6.0** SCALE: 1/4" = 1'-0"



**4 STAIR SECTION**  
**A6.0** SCALE: 1/4" = 1'-0"



Doc. #: 2022-6468

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R: \$5.00 - Tf: \$0.00 - M: \$1.00 - Tc: \$1 - N: \$0

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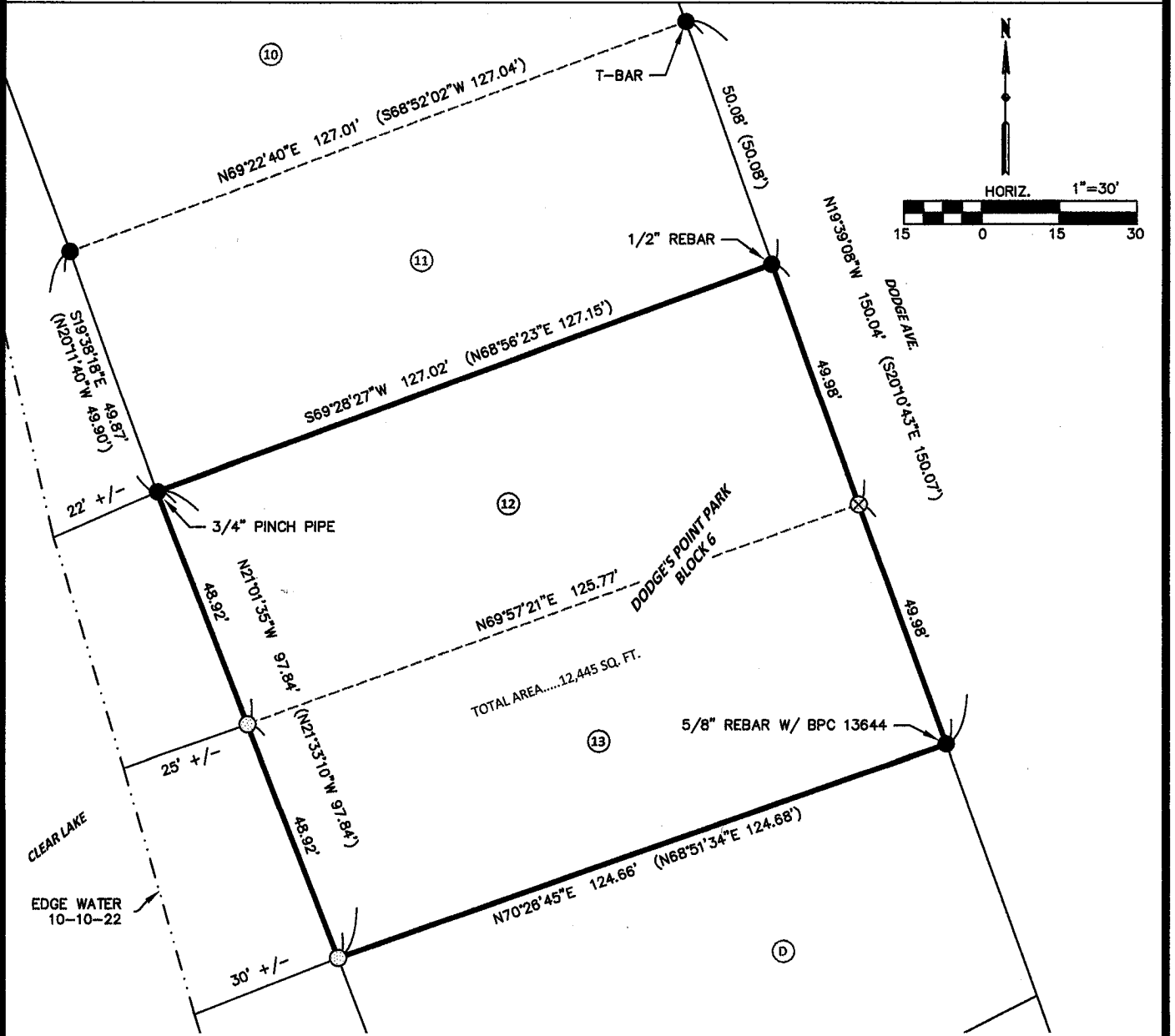
AnnMarie Legler, Cerro Gordo County Recorder



<b>INDEX LEGEND</b>
<b>LOCATION</b> LOT 12 AND 13 IN BLOCK 6 IN DODGE'S POINT PARK, CERRO GORDO COUNTY, IOWA
<b>PROPRIETOR</b> PAMELA S. ELMITT, TRUSTEE OF THE PAMELA S. ELMITT TRUST DATED DECEMBER 16, 2019 AND BRADLEY R. ELMITT, TRUSTEE OF THE BRADLEY R. ELMITT FAMILY TRUST DATED FEBRUARY 26, 2021
<b>SURVEY REQUESTED BY</b> BRAD ELMITT
<b>SURVEYOR COMPANY</b> STARK SURVEYING INC. 1622 S. TAFT AVE. MASON CITY, IOWA, 50401 PHONE: 641-423-7947
<b>RETURN TO:</b> <i>700CK</i> BENJAMIN STARK 1622 S. TAFT AVE. MASON CITY, IOWA, 50401

*and*

# RETRACEMENT PLAT OF SURVEY



## DESCRIPTION OF RECORD DOC.#2021-5759

LOT 12 AND LOT 13, IN BLOCK 6, IN DODGE'S POINT PARK, CERRO GORDO COUNTY, IOWA

### LEGEND

- △ SET SECTION CORNER AS NOTED (P.O.C.) POINT OF COMMENCEMENT
- ⊙ SET 1/2" REBAR 24" LONG YPC 23709 (P.O.B.) POINT OF BEGINNING
- FOUND T-BAR W/ CHROME CAP 5543 MONUMENT UNLESS NOTED
- ▲ FOUND SECTION CORNER AS NOTED (65) LOT NUMBER
- ⊗ SET MAG NAIL (0.00') RECORD MEASUREMENT

**SURVEYOR'S NOTES:**

1) IaRCS ZONE 2 IS THE BASIS OF BEARING FOR THE PURPOSE OF THIS SURVEY.

**DOCUMENTS USED FOR THIS SURVEY**

PLATS: DOC.#2018-3721,  
DOC.#2016-5510  
DEED: DOC.#2021-5759

DATE SURVEYED	10-10-22
SCALE:	AS SHOWN
PROJECT NO.:	22316
DRAWN BY:	BVS
CHECKED BY:	BVS
SHEET	1 of 1



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

*Benjamin Stark*  
Benjamin Stark

*10-13-22*  
Date

License number 23709 Sheets covered by this seal: 1  
My license renewal date is December 31, 2023

# STARK SURVEYING INC.



22

DODGE AVE